

ORDINANCE No. 2016-115

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, BY AMENDING CHAPTER 12, ARTICLE IV, DIVISION 1, OF THE CODE OF ORDINANCES OF THE CITY OF ROANOKE, TEXAS, ENTITLED "OVERLAY AND SPECIAL DISTRICTS", BY ADDING A NEW SECTION 12.601 OF THE CODE OF ORDINANCES OF THE CITY OF ROANOKE, TEXAS, ENTITLED "OLD TOWN ROANOKE NEIGHBORHOOD DESIGN OVERLAY," BY ESTABLISHING EXTERIOR REMODEL AND NEW RESIDENTIAL DESIGN STANDARDS INCLUDING BLOCK STANDARDS, BUILDING SETBACKS, BUILDING HEIGHT STANDARDS, BUILDING FAÇADE AND MATERIALS STANDARDS, ROOF DESIGN AND MATERIAL STANDARDS, LOCATION OF DRIVEWAY AND GARAGE STANDARDS, LOT COVERAGE STANDARDS AND BUILDING SCALE STANDARDS, ACCESSORY BUILDING STANDARDS, AND ADMINISTRATIVE REVIEW AND SUBMITTAL REQUIREMENTS FOR AN AREA OF THE CITY CONSISTING OF EAST OF OAK STREET, SOUTH OF BYRON NELSON (BUSINESS STATE HIGHWAY 114), WEST OF THE COMMERCIAL DEVELOPMENT ON STATE HIGHWAY 170, AND NORTH OF LAMAR STREET, LOCATED WITHIN THE CITY OF ROANOKE, DENTON COUNTY, TEXAS; PROVIDING A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Section 12.124(b) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, "[f]or requests involving proposed changes to the text of the Zoning Ordinance, notice of the Planning and Zoning Commission hearing shall be accomplished by publishing the purpose, time and place of the public hearing in the official newspaper of the City before the fifteenth (15th) calendar day prior to the date of the public hearing. Changes in the Ordinance text which do not change zoning district boundaries do not require written notification to individual property owners;" and

WHEREAS, Section 12.127(c) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, "[n]otice of the City Council public hearing for a zoning, rezoning or Zoning Ordinance text amendment request shall be given in the same manner as that for the public hearing before the Planning and Zoning Commission as required in Section 12.124;" and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of Roanoke, Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS:

Section 1. FINDINGS INCORPORATED

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

Section 2.

That Chapter 12, Article IV, Division 1, of the Code of Ordinances of the City of Roanoke, Texas, entitled "Overlay and Special Districts" is hereby amended by adding Section 12.601, entitled "Old Town Roanoke Neighborhood Design Overlay," which is attached hereto as **Exhibit A** of this Ordinance, and is incorporated herein for all purposes, for the properties described in **Exhibit B** of this Ordinance which is attached hereto and incorporated herein for all purposes.

Section 3. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

Section 4. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation of this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 5. REPEALER CLAUSE

Any provision of any prior ordinance of the City whether codified or uncoded, which are in conflict with any provision of the Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncoded, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

Section 6. EFFECTIVE DATE

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this the 12th day of July, 2016.

APPROVED:



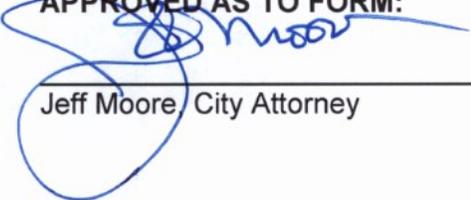
Carl E. Gierisch, Jr., Mayor

ATTEST:



April S. Hill, City Secretary

APPROVED AS TO FORM:



Jeff Moore, City Attorney

Exhibit A

Old Town Roanoke
Neighborhood Design Overlay

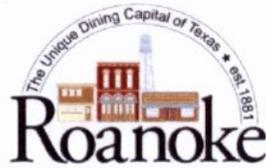
Old Town Roanoke



Neighborhood Design Overlay

ADOPTED

DATE: July 12, 2016



Prepared for City of Roanoke, Texas

By

Hardin & Associates LLC., and Livable Plans and Codes



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1. Introduction and Background

The City of Roanoke has a great diversity of neighborhoods built over the last 50 years. Generally, residences have grown and adapted over time to the changing needs of residents, as well as to larger real estate trends and architectural fashions. In addition, residences have grown larger in size, new types of interior spaces have become common, and parking needs have increased. Roanoke continues to be a desirable city for new residents due to regional location, great schools, small town character, and access to shopping and restaurants.

More specifically, the recent success of Oak Street's revitalization has made the adjoining Old Town Neighborhood more attractive and desirable as a place to reinvest. Given the limited number of vacant lots within Old Town and the modest size of most existing homes in the area (see Appendix B for a map on existing home sizes), much of this growth is occurring as demolitions and new home construction on lots. In addition, rising land values has also put the pressure on increasing tear-downs and rebuilds in the neighborhood. Given the scale of the older homes in the neighborhood, several of these new homes, while attractive in their own right, do not "fit in" well with the existing homes.

The purpose and intent of this Neighborhood Design Overlay (herein know as the Overlay) is to preserve the overall integrity and character of the neighborhood while allowing for more context sensitive new construction. The market pressure for older homes to be replaced by newer construction will continue due to both the success of the Oak Street revitalization and Roanoke continuing to be a great community. The City recognizes and welcomes the need for reinvestment, but desires that change occur in a manner that is respectful of the scale, texture, and character of the Old Town Neighborhood. The intent is not to stifle new construction, but rather direct it in terms of design and scale to be more compatible with the walkable character and scale of the neighborhood, thus preserving the long-term value of the neighborhood and the City.

The standards contained in this document are intended to accomplish the following:

- Provide guidance to city staff, property owners and their design professionals in designing new houses and remodeling existing structures.
- Streamline the development review process for more predictability by more clearly communicating community expectations to property owners, builders, and developers up front.
- Ensure that new development is compatible with its surrounding neighborhood.
- Establish a high level of design quality.
- Reinforce the special qualities of Old Town Neighborhood's character and scale.

2. Key Design Principles:

This Overlay is intended to reinforce the following principles of small-town traditional neighborhood planning that is embodied in the existing character of the Old Town Neighborhood:

- a. Small and connected blocks;
- b. Many smaller-scaled homes oriented towards streets with building heights generally one and two story structures typical to the neighborhood;
- c. The lots and a variety of homes should generate a cohesive pattern that allows streets to be civic places;
- d. Driveway and garage sizes and locations shall minimize the impact of the automobile along the street;
- e. Simple residential facades and roof structures;
- f. Traditional architectural styles and proportions for façade elements; and
- g. Compatible façade materials with the Old Town Neighborhood.

3. Applicability & Relationship to Zoning Regulations:

The Old Town Roanoke Neighborhood area is generally defined as the existing neighborhood blocks immediately east of Oak Street, south of Byron Nelson (Bus 114), west of the commercial development on Hwy 170 and north of Lamar Street. A significant portion of these blocks were developed in the 1950's and 60's. However, there are some newer blocks east of Turner Ave along Meadow Lane, Reed and Main Streets that are excluded from the specific Overlay standards in this document.

The Old Town Design Overlay standards apply to all lots located within the Neighborhood Design Overlay Map (see Map 1). Within the Pine Street Overlay, these standards shall apply to all residential buildings types (new and remodeled) regardless of the ultimate use to be located within the building.

The Old Town Neighborhood Design Overlay standards shall address the following development standards:

- Block standards
- Building setbacks
- Building height
- Building façade standards and materials
- Roof design and material standards
- Location of driveways and garages
- Lot coverage standards and building scale standards
- Accessory building standards

All lots within the Old Town Neighborhood Design Overlay shall be exempt from the underlying zoning district and subdivision standards that address the above listed elements only. For the above listed elements, this Overlay District shall supersede the zoning and subdivision standards. The underlying zoning district shall address all other elements not regulated under this Overlay District.

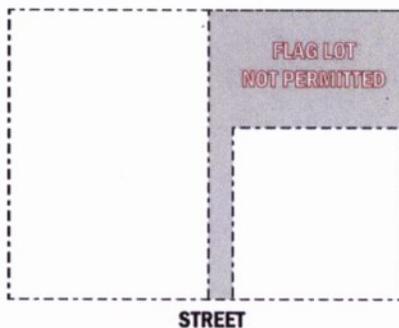
These Overlay standards will be used by the City staff in evaluating changes to existing structures and for new construction of principal and accessory buildings.

4. Exterior Remodel and New Residential Design Standards

This section shall address the design standards for all new residential construction and remodels in the Old Town Neighborhood Design Overlay.

a. Block and Lot Layout:

- i. Cul-de-sacs are not permitted in the Overlay unless natural features such as topography or stream corridors prevent a street connection.
- ii. Flag lots are not permitted in the Old Town Neighborhood.



- iii. Blocks widths shall be between 250 feet and 500 feet.

b. Site Development Standards:

- i. Primary Building Setbacks: Shall meet the standards in Table 1 below.

Table 1: Setback Standards

Interior Lot					
Front Setbacks		Side Setbacks (min.)*		Rear Setbacks (min.)*	
Minimum	Maximum				
20 feet	30 feet	7.5 feet		20 feet	
Corner Lot					
Front (Primary Street)		Front (Secondary Street)		Side (min.)	Rear (min.)*
Minimum	Maximum	Minimum	Maximum		
20 feet	30 feet	15 feet	30 feet	7.5 feet	20 feet
* Detached garages may be built to the property line (side and rear only). However fire separation standards shall apply.					

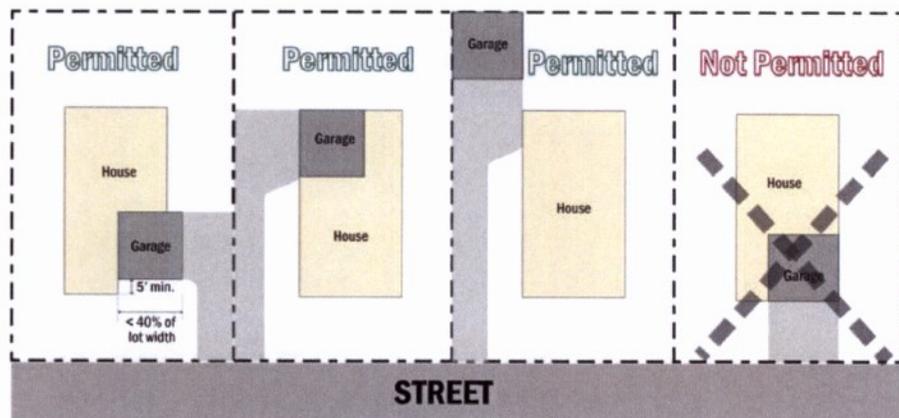
- ii. Garage Location & Setbacks: Location of residential garages shall minimize the frontage of the garage along primary streets to the extent feasible.
 - 1. All garages shall be setback a minimum of 5' from the front façade of the building.
 - 2. Garage width shall be no more than 40% of the width of the lot up to a maximum of 24'. This standard shall only apply if the garage is located towards the front of the principal structure on the lot.

- 3. All street facing garage doors shall be articulated single garage doors.



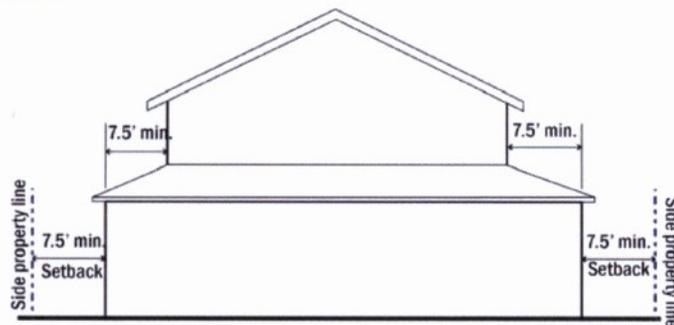
- iii. The following graphics indicate the accepted location and placement of garages (attached or detached)

Garage Locations



c. Building Massing and Scale

- i. Height: Building height shall be a maximum of 2 stories (not to exceed 30'). All second floors shall be set back from the side property lines by an additional 7.5 feet.



- ii. Lot Coverage and massing: shall be based on the size of the lot per Table 2. Second floor square footage shall be limited to a maximum of 50% of the first floor square footage.

Table 2: Lot Coverage Standards by Lot Size

Lot Size (sq.ft)	Lot Coverage (maximum)
10,000 sq.ft. and under	25%
10,001 - 20,000	20%
Over 20,000 sq.ft.	15%

- iii. Roof Design: Shall be simple gabled or hipped roofs. Excessive number of roof ridges and forms shall be avoided. Gable roofs, if provided, shall have a minimum pitch of 9/12. When hipped roofs are used, the minimum pitch shall be 6/12. Other roof types and proportions shall be appropriate to the compatible architectural styles of Old Town (see appendix for Old Town Architectural style guide.)

Permitted
Simple Roof Structure and Design



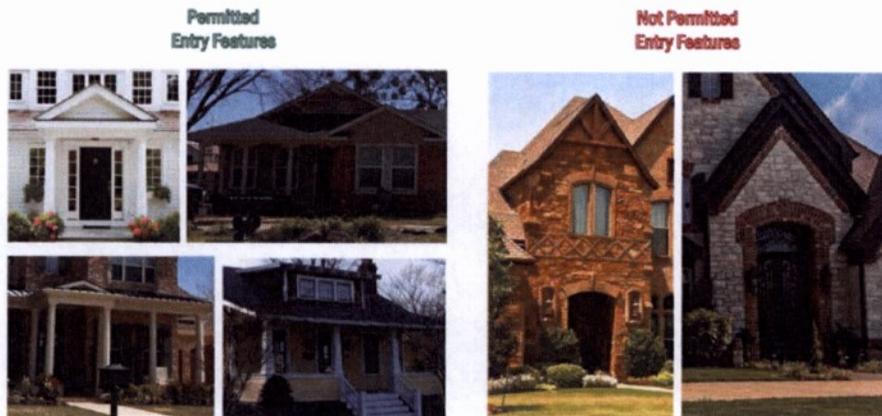
Not Permitted
Complex and Multiple Roof Structure



1. Roof elements such as dormers, chimneys, skylights, and varying heights and ridgelines may be utilized to ensure good design and neighborhood continuity. However, these shall be appropriately scaled for the traditional architectural style of the home.

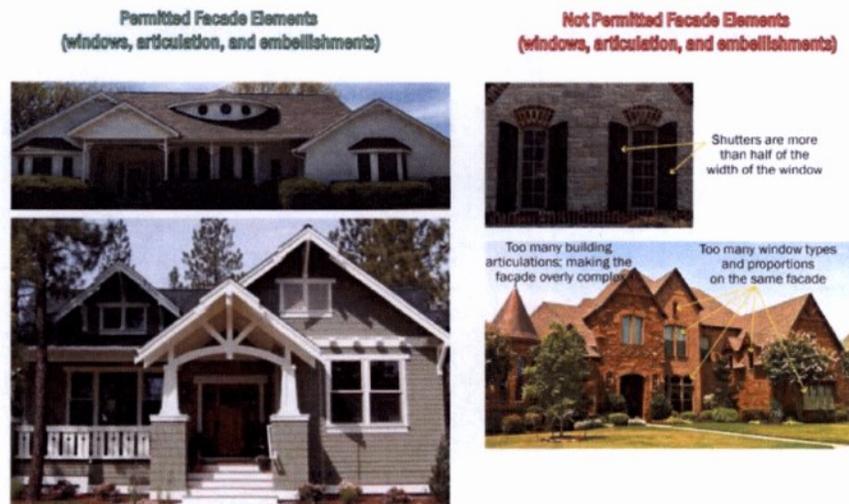
d. Building Orientation and Street Frontage (front doors, porches, stoops)

- i. All buildings shall have doors oriented towards the primary street. The main entry to the home shall be visible from the street.
- ii. Provide a prominent entry feature (either projected or recessed) that reflects the home’s architectural style. Common projected entries are porches and stoops. Two- and one-story recessed entry features that do not incorporate roof overhangs or stoops shall not be permitted.



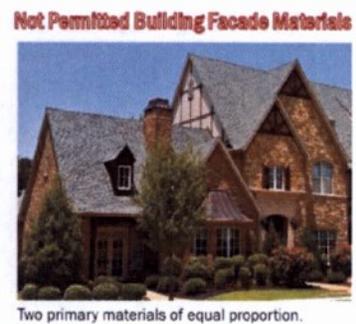
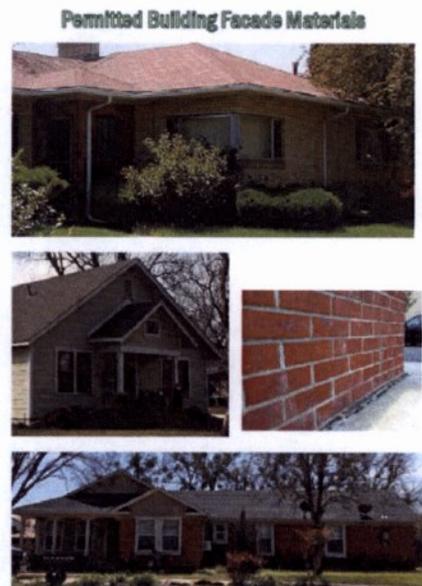
e. Façade Elements (windows, doors, garage doors, architectural elements) (applies to street facing facades only)

- i. Residential buildings shall have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.
- ii. Architectural embellishments that add visual interest to the street facing facades roofs, such as corbels, porch or balcony railings, columns, window sills, dormers and chimneys are encouraged.
- iii. Windows shall be vertical or square unless the architectural style supports horizontally proportioned windows. Maintain the same window types and proportions on the same façade. If shutters are used, they shall be half the size of the window opening.
- iv. Windows shall have a wood trim around the windows. The trim width should be matched to the style, but in shall not be less than 3 1/2 inches wide. Window, door and eave trim should be consistent on all street facing elevations of the house, in terms of material, material dimensions and decorative features such as shape, carving, reveals, etc.



f. *Building Façade Materials (walls and roofs):*

- i. Primary façade materials: Building façade materials should be selected based on the historic context of Old Town. Traditionally, wood siding and uniform colored bricks were used in Old Town. There is limited precedent for stucco in Old Town. Compatible cementations fiber siding such as hardie-plank siding, wood siding, masonry, and 3-step stucco may all be used as façade materials.
- ii. When using a mix of primary façade materials, a maximum of 2 primary materials shall be permitted on each façade. An even split of materials (i.e., 50/50) on the facades shall not be permitted. One material shall be at least 2/3rds of the façade.
- iii. Accent materials shall not be limited and excluding doors and windows, they shall be limited to trims, cornices, balconies, eaves, stairs, balustrades, pediments, columns, and other decorative elements.



- iv. Roof Materials: May be shingles (slate, asphalt) or standing seam metal. Clay or concrete tiles shall not be permitted.

g. *Accessory Building Standards:* Accessory structure standards in the SF-15 zoning district shall apply. All accessory structures on the lot shall count towards the lot coverage calculation.

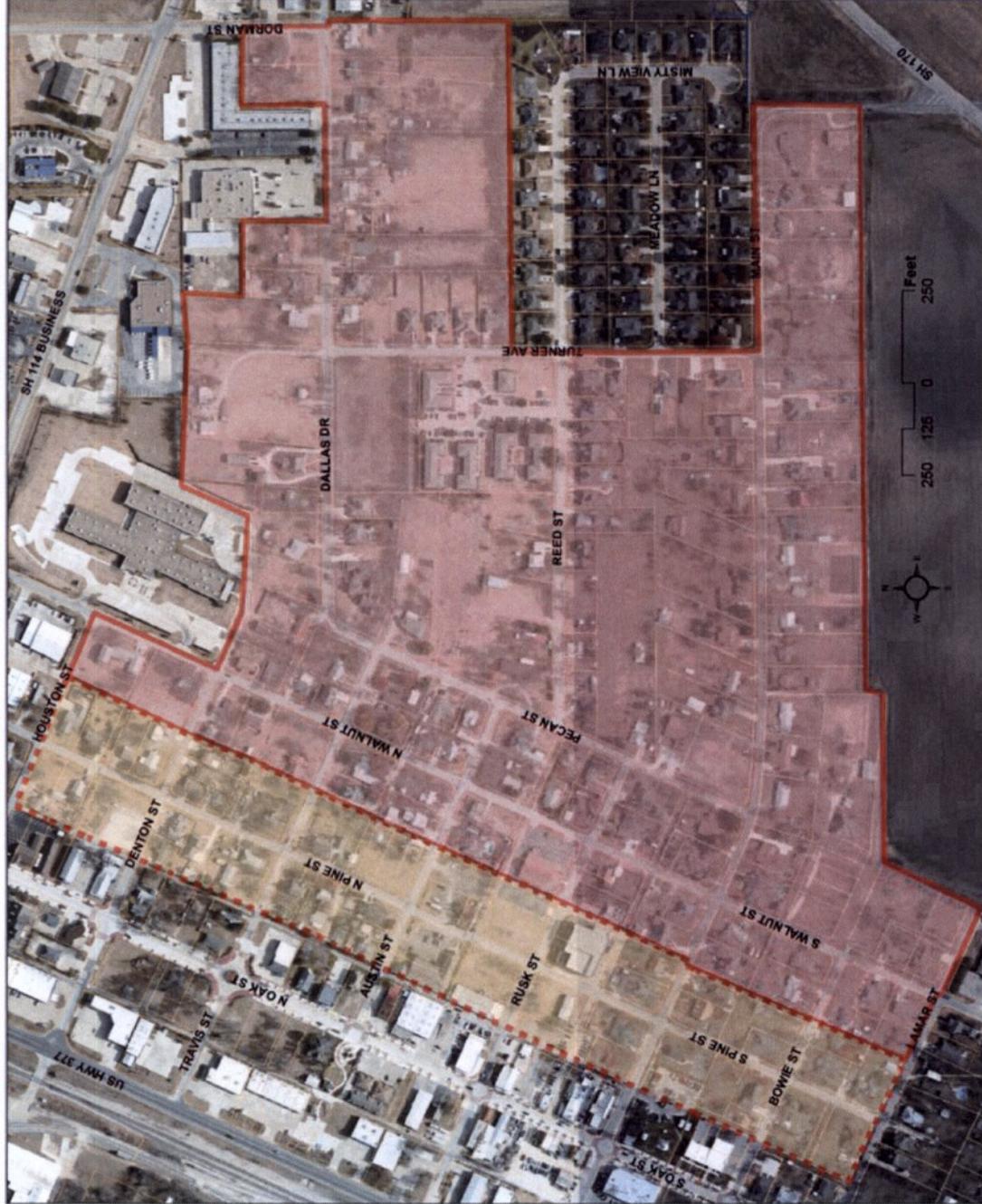
5. Administration and Process

- a. Administrative Review: Projects that clearly comply with all standards of this Overlay shall be processed administratively by the Director of Community Development or his/her designee. Following a complete application, the Director of Community Development shall review and approve, approve with conditions, or forward the

application for Planning and Zoning Commission recommendation and City Council decision.

- b. Submittal materials: The following information shall be required with any application for exterior remodel or new construction in the Old Town Neighborhood Design Overlay:
 - i. Site plans and building plans showing all improvements on the lot (drawn to an appropriate scale)
 - ii. Approved plat (or plat application)
 - iii. All street facing elevations including exterior building material specifications (drawn to an appropriate scale)
 - iv. Any other documents and graphics that adequately demonstrate compliance with all applicable sections of this Overlay.
- c. Minor Modifications: The Zoning Board of Adjustment (ZBA) may approve modifications of any numerical standard in this Overlay through the Special Exception Permit process so long as:
 - i. A modification of a numerical standard is needed to accommodate existing conditions.
 - ii. The proposed development still meets the intent of the Code.

Map 1. Old Town Neighborhood Design Overlay Boundary



Old Town Roanoke
Residential Overlay

Old Town Residential Overlay
Pine Street Overlay Boundary

Adopted
City of Roanoke, Texas
July 12, 2016



Appendix A – Architectural Style Guide for Old Town Neighborhood Roanoke

(Adapted from “*A Field Guide to American Houses*”, by **McAlester, Virginia S.**)

The following pages are intended to provide homeowners and applicants information on the prevalent architectural styles in Old Town in addition to helping design new homes and existing home remodels to be more consistent with the architectural traditions in Old Town. Though these preferred architectural styles reinforce the existing context of Old Town, it does not preclude other styles from being considered. These styles include:

- Minimal Traditional Style
- Ranch
- New Traditional (if used shall be based on appropriate scale, proportions and precedents in Old Town)
- American Vernacular

Minimal Traditional Style

Identifying Features:

Cottage-style homes with

- Low or medium pitched roof;
- Gabled roof style;
- Generally small, 1-story homes;
- Roof eaves have no overhang;
- Double hung windows;
- Minimal architectural features;
- Some of the early ranch styles are also minimal traditional.



Side-gabled Cottage



Cottage (other roof type)



Cottage (hipped and other roof type)



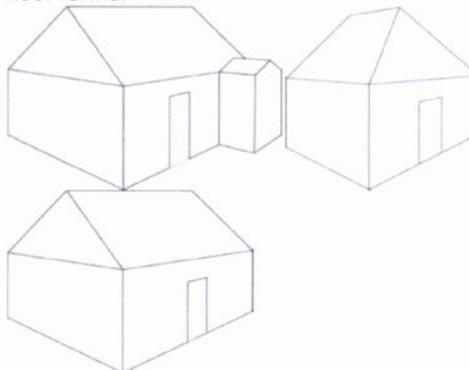
Folk Traditional

Principal Subtypes:

- Gable-and-wing roof
- Side-gabled (cottage)
- Folk traditional (generally has steeper roof pitches)

Typical Architectural Elements:

Roof forms:



Façade characteristics:

ADOPTED

July 12, 2016

- Simple compositions, with minimal embellishments such as porches, bay windows, platform steps.
- Use of single façade materials (limited use of masonry)

Ranch Style

Identifying Features:

Homes with

- Wide, one-story shapes built close to the ground;
- Low-pitched roof without dormers;
- Front entry usually located off-center and sheltered under the main roof;
- Garage typically attached to the main façade (facing the front, side or rear);
- Large picture window;
- Asymmetrical façade



Cross-hipped roof



Side-gabled roof



Cross-hipped roof



Hipped roof



Side-gabled roof

Principal Subtypes/Roof forms:

- Hipped roof
- Cross-hipped roof
- Side-gabled roof
- Cross-gabled roof

Typical Architectural Elements:

Façade characteristics:

- Windows: variety of sizes and types of pre-fab windows. Over 50% of the ranch homes had at least one large picture window on the front façade.
- Front entrances: typically sheltered by the roof. Entries were recessed or set into the L formed by the cross-hipped or cross-gabled roof. Several had partial-width porches.
- Cladding materials: Various cladding materials used – wood, brick, stone, concrete blocks, and stucco. No more than 2 cladding materials were used. If more than one cladding material was used, cladding changes were typically in the entry area or at the base of window or in the gable end.

New Traditional*Identifying Features:*

- Homes built since the 1970s with a more elaborate historical style;
- Several are built with elaborate styles that are popular such as Tudor, Classical, Victorian, Colonial Revival, Craftsman, etc. (often without accurate or proportional detailing or without any neighborhood context)
- Front facing garages incorporated into main body of the house; side wings with garages may be attached later;
- Few or no windows on the side facades
- Shallow porches
- Built on slab or foundation with few or no steps to the first floor of the house.

*Typical Architectural Elements:*

- Windows: various types of windows uses including vinyl, fiberglass, aluminum, or metal clad wood.
- Shutters: typically vinyl and not operational (should be at least the size of the window they intend to cover).
- Dormers: are widely used and should be appropriately scaled and sized.
- Porches: Typically are shallow (not permitted), but if provided shall be a minimum depth of 6'.
- Wall cladding: Typically, several cladding materials are used on the same facade, but no more than 2 primary cladding materials. Range of cladding permitted – uniform brick veneer, 3-step stucco, cementitious fiber board (Hardie Plank), or similar. Stone masonry veneer is not permitted in Old Town.
- Garages: Typically 2-car garage with individually articulated garage doors. If 3-car garage, then garage placement is towards the back of the lot.

American Vernacular

Identifying Features:

Homes

- Built since the 1970s with a more vernacular style rather than specific architectural style;
- Generally simple building forms with minimal adornment or stylistic details;
- Uses one dominant cladding material –wood, cementitious fiber board, or uniform brick.



Complex roof



Cross-gabled roof



Side-gabled roof



Hipped roof

Principal Subtypes

- Front gabled roof, side-gabled roof, or hipped roof: simple rectangular block with a front gabled roof. May have a porch.
- Cross-gabled: simple gable and wing roof. May have a porch.

Typical Architectural Elements:

- Porches: are often the main embellishment on the front façade of the house. Porches are deep enough to accommodate outdoor activity (minimum 6’ deep). Porches may be screened. Porches have simple details and lack ornamentation of columns and brackets.
- Windows: are typically double hung, with simple frames, and may be multi-paned. They are typically more traditionally placed and symmetrical.
- Massing: larger homes are more typically “additive”, in order to avoid the overly large look of common suburban homes.
- Dormers: may be used and should be appropriately scaled and sized.
- Wall cladding: Typically a single primary cladding material – uniform brick veneer, 3-step stucco, cementitious fiber board (Hardie Plank), or similar.
- Garages: Typically garages are placed towards the back of the lot or home.

Appendix B: Old Town Assessment & Context Maps

The maps in the following pages provide background information on the existing context of the Old Town neighborhood with respect to existing land uses, lot sizes, age of buildings, and architectural styles. This in turn provides a basis to assess compatibility of the newer residential buildings built in the neighborhood since 1990. The areas of compatibility identified are then the key elements of the Neighborhood Overlay regulations.

Several Compatibility Issues: This designation indicates several areas where the design of the new residential structure is not compatible with the historic context of the Old Town Neighborhood. These areas include: size (mostly 2-1/2 story buildings) and massing of the structure relative to the size of the lot, architectural style and building materials, roof structure, and placement of garage.

Some Compatibility Issues: This designation indicates some areas where the design of the new residential structure is not compatible with the historic context of the Old Town Neighborhood. These areas include location of the garage, building materials, and size of structure relative to the lot size.

Mostly Compatible: This designation indicates lots that have new buildings that are mostly compatible with the historic context of the Old Town Neighborhood. This includes size and scale, building materials, placement of garage, and architectural style.

Exhibit B

Legal Description of the Properties

PROPERTY ID	PROPERTY ADDRESS	LEGAL DESCRIPTION
72591	206 E Byron Nelson Blvd	O T Roanoke Blk 30 Lot 4
69849	605 N Pine St	Brand & Bowen's Blk 30 Lot 6
149176		Brand & Bowen's Blk 30 Lot 5
69844	207 Houston St	Brand & Bowen's Blk 30 Lot 4
69748	N Pine St	Brand & Bowen's Blk 27 Lot 11,12(n90'ea)
69747		Brand & Bowen's Blk 27 Lot 10
73359	509 N Pine St	Brand & Bowen's Blk 27 Lot 11,12(s50'ea)
202919		Brand & Bowen's Blk 27 Lot 1r
72525	204 Denton Dr	O T Roanoke Blk 22 Lot 10(n 1/2),11(w 1/2 Of N 1/2)
72531	206 Denton Dr	O T Roanoke Blk 22 Lot 11(e25' Of N70'),12(n70')
72535	405 N Pine St	O T Roanoke Blk 22 Lot 10r, Undivided Interest 50.0000000000%
72399	205 Travis St	O T Roanoke Blk 22 Lot 2,3
72388	209 Travis St	O T Roanoke Blk 22 Lot 1
72286	309 N Pine St	O T Roanoke Blk 19 Lot 10r
72293	305 N Pine St	O T Roanoke Blk 19 Lot 10-12 (s 70')
72250	205 Austin St	O T Roanoke Blk 19 Lot 2,3
72242	301 N Pine St	O T Roanoke Blk 19 Lot 1
71967		O T Roanoke Blk 14 Lot 10
158533		O T Roanoke Blk 14 Lot 11
158534		O T Roanoke Blk 14 Lot 12
71975	205 Rusk St	O T Roanoke Blk 14 Lot 3
158532		O T Roanoke Blk 14 Lot 2
71964		O T Roanoke Blk 14 Lot 1

71803	204 Rusk St	O T Roanoke Blk 11 Lot 19
71809	Rusk St	O T Roanoke Blk 11 Lot 20,21
76769		O T Roanoke Blk 11 Lot 4-6(n40')
71740	205 Main St	O T Roanoke Blk 11 Lot 4-6 (s 100')
71731	207 Main St	O T Roanoke Blk 11 Lot 1-3
678311	Bowie St	O T Roanoke Blk 6 Lot 10r1
71571	206 Main St	O T Roanoke Blk 6 Lot 19-21
71537	107 S Pine St	O T Roanoke Blk 6 Lot 1-3 (n 65')
71541	203 Bowie St	O T Roanoke Blk 6 Lot 3 (s 1/2)
71532	111 S Pine St	O T Roanoke Blk 6 Lot 1r
71403	201 S Pine St	O T Roanoke Blk 3 Lot 13,14,15
71372	213 S Pine St	O T Roanoke Blk 3 Lot 1,2,3
71363	301 Lamar St	O T Roanoke Blk 2 Lot 9,10
71368	305 Lamar St	O T Roanoke Blk 2 Lot 1,2(w75')
71339	209 S Walnut St	O T Roanoke Blk 2 Lot 1,2(e75')
268312	300 Bowie St	O T Roanoke Blk 2 Lot 6r
71348	304 Bowie St	O T Roanoke Blk 2 Lot 3(w60'),4(w60' & N15' Of E90'),5
71342	205 S Walnut St	O T Roanoke Blk 2 Lot 3(e90'),4(s30' Of E90')
71330	208 S Walnut St	O T Roanoke Blk 1 Lot 9r
660489		O T Roanoke Blk 1 (pt Of Alley Abandonment)
71279	407 Lamar St	O T Roanoke Blk 1 Lot 1,2
181609	204 S Walnut St	O T Roanoke Blk 1 Lot 7r
661806	200 S Walnut St	O T Roanoke Blk 1 Lot 3b
675466		O T Roanoke Blk 8 (abandoned Bowie St)
526201	301 Bowie St	Nelson Addn Blk 7 Lot 4r

71593		O T Roanoke Blk 7 Lot 4-8 (e 70')
71586	309 Bowie St	O T Roanoke Blk 7 Lot 2,3
71579	107 S Walnut St	O T Roanoke Blk 7 Lot 1
526202	106 S Pine St	Nelson Addn Blk 7 Lot 9r
271438	300 Main St	O T Roanoke Blk 7 Lot 1r
71601	302 Main St	O T Roanoke Blk 7 Lot 11-15 (e 50')
71606	306 Main St	O T Roanoke Blk 7 Lot 16r
71611	101 S Walnut St	O T Roanoke Blk 7 Lot 17(e1/2),18
71713	301 Main St	O T Roanoke Blk 10 Lot 5a
71703	303 Main St	O T Roanoke Blk 10 Lot 4-6 (e1/2)
71718		O T Roanoke Blk 10 Lot 7-9 (w 1/2)
71721	314 Rusk St	O T Roanoke Blk 10 Lot 7-9 (e 1/2)
193029	Rusk St	O T Roanoke Blk 10 Lot 10r(w Pt)
157352	308 Rusk St	O T Roanoke Blk 10 Lot 10r(e Pt)
157351	308 Rusk St	O T Roanoke Blk 10 Lot 11r
71988	210 N Pine St	O T Roanoke Blk 15 Lot 5,6
158537		O T Roanoke Blk 15 Lot 4
631121		O T Roanoke Blk 15 Lot (20' Row Btw Lots 3,4)
158536		O T Roanoke Blk 15 Lot 3
158535		O T Roanoke Blk 15 Lot 2
71985		O T Roanoke Blk 15 Lot 1
72001	214 N Pine St	O T Roanoke Blk 15 Lot 7 (s40) & 8(s40 Of W1/2)
72005	322 Austin St	O T Roanoke Blk 15 Lot 7 (n100) & 8 (n100 W1/2)
72009	N Pine St	O T Roanoke Blk 15 Lot 9 & 8 (e 1/2)
72011	304 Austin St	O T Roanoke Blk 15 Lot 10,11

72103	213 N Walnut St	O T Roanoke Blk 15 Lot 12
660554	Austin St	O T Roanoke Blk 18 Lot 6r2
660553	Austin St	O T Roanoke Blk 18 Lot 6r1r
659906	301 Pine St	O T Roanoke Blk 18 Lot 4r
261293	305 Austin St	O T Roanoke Blk 18 Lot 2r
261292	307 Austin St	O T Roanoke Blk 18 Lot 1r
268311	300 Travis St	O T Roanoke Blk 18 Lot 7r & W 10' Of Alley
72227	306 Travis St	O T Roanoke Blk 18 Lot 10 & W 5' Of 11 & E 10' Of Alley
72237	310 Travis St	O T Roanoke Blk 18 Lot 12 & E 45' Of 11
72555	301 Travis St	O T Roanoke Blk 23 Lot 5 & 6(except N14')
72553	303 Travis St	O T Roanoke Blk 23 Lot 3,4
72545	N Walnut St	O T Roanoke Blk 23 Lot 1 & 2
148835	N Pine St	O T Roanoke Blk 23 Lot 5,6(n14')
116847	412 N Pine St	O T Roanoke Blk 23 Lot 7b
116848	412 N Pine St	O T Roanoke Blk 23 Lot 7b
72558	302 Denton Dr	O T Roanoke Blk 23 Lot 8
123800	304 Denton Dr	O T Roanoke Blk 23 Lot 9
72568	409 N Walnut St	O T Roanoke Blk 23 Lot 10,11,12(s75')
72563	413 N Walnut St	O T Roanoke Blk 23 Lot 10,11,12 (n 65')
72602	500 N Pine St	O T Roanoke Blk 26 Lot 2 (s 75') & (pt Of Alley Abandonment)
72606	504 N Pine St	O T Roanoke Blk 26 Lot 2 (n 65') & (pt Of Alley Abandonment)
652685	Denton Dr	Brand & Bowen's Blk 26 Lot 3r
560170	309 Denton Dr	Brand & Bowen's Blk 26 Lot 1r
72612	508 N Pine St	O T Roanoke Blk 26 Lot 3 (s 1/2)
72614	512 N Pine St	O T Roanoke Blk 26 Lot 3 (n 1/2)

69738	513 N Walnut St	Brand & Bowen's Blk 26 Lot 4
149166	513 N Walnut St	Brand & Bowen's Blk 26 Lot 5,6
69853		Brand & Bowen's Blk 31 Lot 1
69847	608 N Pine St	Brand & Bowen's Blk 31 Lot 2
149177		Brand & Bowen's Blk 31 Lot 3
69855	605 N Walnut St	Brand & Bowen's Blk 31 Lot 4r
72594	Sh 114	O T Roanoke Blk 31 Lot 3
72597	613 Walnut & Sh 114	O T Roanoke Blk 31 Lot 4
121419	412 N Walnut St	O T Roanoke Blk 24 Lot 6a
1211420		No available information on DCAD
636493	408 Denton St	O T Roanoke Blk 24 Lot 8r
636494	412 Denton St	O T Roanoke Blk 24 Lot 9r
68744	Dallas Dr	A0923a Mep & Prr, Tr 42, .3 Acres
68738	503 Dallas Dr	A0923a Mep & Prr, Tr 41, .583 Acres, Old Dcad Tr #15
68735	505 Dallas Dr	A0923a Mep & Prr, Tr 43, .16 Acres, Old Dcad Tr #15b
68731	507 Dallas Dr	A0923a Mep & Prr, Tr 44, .986 Acres, Old Dcad Tr #15a
68727	305 Turner St	A0923a Mep & Prr, Tr 45, 1.936 Acres, Old Dcad Tr #14
68718	601 Dallas Dr	A0923a Mep & Prr, Tr 46, 1.036 Acres, Old Dcad Tr #13
175400	603 Dallas Dr	Sieglar Addn Blk 1 Lot 1 Old Dcad A923 Tr47b
72851	605 Dallas Dr	A0923a Mep & Prr, Tr 47, .5886 Acres, Old Dcad Tr #12a
68700	105 Dorman Rd	A0923a Mep & Prr, Tr 49, 1.0 Acres
68712		No available information on DCAD
70760	616 Dallas Dr	A1565a J. Bacon, Tr 13, 1.0 Acres, Old Dcad Tr 4-2
82981		A1565a J. Bacon, Tr 14, .036 Acres, Old Dcad Tr 4-1
68780	614 Dallas	A0923a Mep & Prr, Tr 50, .191 Acres, Old Dcad Tr #19(5a)

68785	612 Dallas Dr	A0923a Mep & Prr, Tr 51, 1.79 Acres, Old Dcad Tr #19(5)
68804		A0923a Mep & Prr, Tr 53, .69 Acres, Old Dcad Tr #19(2a)
68798	610 Dallas Dr	A0923a Mep & Prr, Tr 52, .3 Acres
68787	608 Dallas Dr	A0923a Mep & Prr, Tr 54, 1.0 Acres, Old Dcad Tr #19(3)
68802		A0923a Mep & Prr, Tr 55 & 56, Acres .830
68795	606 Dallas Dr	A0923a Mep & Prr, Tr 57, .18 Acres, Old Dcad Tr #19(3a)
68807	604 Dallas Dr	A0923a Mep & Prr, Tr 58, 1.0 Acres, Old Dcad Tr #19(1)
309295	600 Dallas Dr	Schooling Addn Blk 1 Lot 1a
562320	602 Dallas Dr	Schooling Addn Blk 1 Lot 2b
182822	212 Turner St	Schooling Addn Blk 1 Lot 3
182823	210 Turner Rd	Schooling Addn Blk 1 Lot 4
182824	208 Turner St	Schooling Addn Blk 1 Lot 5
182825	204 Turner St	Schooling Addn Blk 1 Lot 6
71635	550 Main St	Bluebonnet Addn Lot 9
71644	600 Main St	Bluebonnet Addn Lot 10
174987	608 Main St	Bluebonnet Addn Lot 11a
174988	610 Main St	Bluebonnet Addn Lot 11b
71660	612 Main St	Bluebonnet Addn Lot 12(n Pt)
71676	616 Main St	Bluebonnet Addn Lot 12(s100')
275532	548 Main St	Bluebonnet Addn Lot 8b
275530	546 Main St	Bluebonnet Addn Lot 8a
71619	542 Main St	Bluebonnet Addn Lot 7(ne Corner)
71610	538 Main St	Bluebonnet Addn Lot 7(pt)
130870	534 Main St	Bluebonnet Addn Lot 6r
71605	532 Main St	Bluebonnet Addn Lot 6(w95')

71598	528 Main St	Bluebonnet Addn Lot 4,5
71591	520 Main St	Bluebonnet Addn Lot 3
71582	516 Main St	Bluebonnet Addn Lot 2
71568	512 Main St	Bluebonnet Addn Lot 1
68910	508 Main St	A0923a Mep & Prr, Tr 88, .38 Acres, Old Dcad Tr #27b
68908	504 Main St	A0923a Mep & Prr, Tr 89, .362 Acres, Old Dcad Tr #27c
68900	500 Main St	A0923a Mep & Prr, Tr 90, .4 Acres
68917	108 S Walnut St	A0923a Mep & Prr, Tr 91, 1.47 Acres, Old Dcad Tr #27
71634	404 Main St	O T Roanoke Blk 8 Lot 8,9,10
71627	400 Main St	O T Roanoke Blk 8 Lot 6,7
158525		O T Roanoke Blk 8 Lot 5
158524		O T Roanoke Blk 8 Lot 4
158523		O T Roanoke Blk 8 Lot 3
158522		O T Roanoke Blk 8 Lot 2
71640		O T Roanoke Blk 8 Lot 1
676936		O T Roanoke Blk 8 (abandoned Alley)
676935		O T Roanoke Blk 8 (abandoned Alley)
676937		O T Roanoke Blk 8 (abandoned Alley)
130935	401 Main St	O T Roanoke Blk 9 Lot 5r
130934	106 N Walnut St	O T Roanoke Blk 9 Lot 4r
71653	405 Main St	O T Roanoke Blk 9 Lot 2,3
71665	400 Rusk St	O T Roanoke Blk 9 Lot 6r
71673	406 Rusk St	O T Roanoke Blk 9 Lot 8r
131286	204 N Walnut St	O T Roanoke Blk 16 Lot 4r
131284	115 Pecan St	O T Roanoke Blk 16 Lot 2r

131287	208 N Walnut St	O T Roanoke Blk 16 Lot 5r
131285	117 Pecan St	O T Roanoke Blk 16 Lot 3r
72115	212 N Walnut St	O T Roanoke Blk 16 Lot 6,7(w45')
72025	406 Austin St	O T Roanoke Blk 16 Lot 8,9 & E5' Of 7
72055	401 Austin St	O T Roanoke Blk 17 Lot 4(w25' Of S80') 5(s 80')
72049	205 Pecan St	O T Roanoke Blk 17 Lot 2,3(s62') 4(e12.5 Of S58')
72126	306 N Walnut St	O T Roanoke Blk 17 Lot 4(w29' Of N60') 5(n60')
72070	209 Pecan St	O T Roanoke Blk 17 Lot 2,3(n78') 4(e21' Of N82')
72061	400 Travis St	O T Roanoke Blk 17 Lot 6,7
72066		O T Roanoke Blk 17 Lot 8,9
72576	413 Travis St	O T Roanoke Blk 24 Lot 4(sw 1/4),5(s1/2)
667491	403 Travis St	O T Roanoke Blk 24 Lot 4r
72579	404 N Walnut St	O T Roanoke Blk 24 Lot 5 (n 1/2) & Nw 1/4 Of 4
121419	412 N Walnut St	O T Roanoke Blk 24 Lot 6a
171180	216 Pecan St	Mep & Prr Survey Addn Blk 923 Lot 63
171181	502 Dallas Dr	Mep & Prr Survey Addn Blk 923 Lot 63a
171182	506 Dallas Dr	Mep & Prr Survey Addn Blk 923 Lot 63b
122533	Dallas Dr	A0923a Mep & Prr, Tr 60, 1.698 Acres, Old Dcad Tr #16a
68773	Turner & Reed St	A0923a Mep & Prr, Tr 61, .12 Acres, Old Dcad Tr #18
184457	255 Turner & Reed St	A0923a Mep & Prr, Tr 62, 3.36 Acres
68765	200 Pecan St	A0923a Mep & Prr, Tr 65, 2.387 Acres, Old Dcad Tr #17
68777		A0923a Mep & Prr, Tr 66, .417 Acres, Old Dcad Tr #18a
79669	509 Reed St	A0923a Mep & Prr, Tr 67, .5 Acres
162984	507 Reed St	A0923a Mep & Prr, Tr 65a, .5 Acres
72858		A0923a Mep & Prr, Tr 68, .17 Acres, Old Dcad Tr #17a

68763	500 Reed St	A0923a Mep & Prr, Tr 69, .33 Acres, Old Dcad Tr #22b
68859	504 Reed St	A0923a Mep & Prr, Tr 70 & 71, .22 Acres, Old Dcad Tr #22a
68862		A0923a Mep & Prr, Tr 72, .4 Acres
68768	510 Reed St	A0923a Mep & Prr, Tr 73, .2067 Acres, Old Dcad Tr #22c
68770	514 Reed St	A0923a Mep & Prr, Tr 74, .391 Acres, Old Dcad Tr #22d
185098	518 Reed St	Berry Addn Blk 1 Lot 1
185099	522 Reed St	Berry Addn Blk 1 Lot 2
78620	526 Reed St	Berry Addn Blk 1 Lot 3 Old Dcad A923 Tr76
185100	530 Reed St	Berry Addn Blk 1 Lot 4
185101	534 Reed St	Berry Addn Blk 1 Lot 5
185102	115 Turner St	Berry Addn Blk 1 Lot 6
185103	111 Turner St	Berry Addn Blk 1 Lot 7
523846	109 Turner St	Roanoke Reserve Blk 1 Lot 1
523847	105 Turner St	Roanoke Reserve Blk 1 Lot 2
523848	101 Turner St	Roanoke Reserve Blk 1 Lot 3
523849	539 Main St	Roanoke Reserve Blk 1 Lot 4
523850	543 Main St	Roanoke Reserve Blk 1 Lot 5
523851	547 Main St	Roanoke Reserve Blk 1 Lot 6
523852	535 Main St	Roanoke Reserve Blk 1 Lot 7
164516	531 Main St	A0923a Mep & Prr, Tr 78a, .6026 Acres
68858		No available information on DCAD
68817	529 Main St	A0923a Mep & Prr, Tr 79, .75 Acres, Old Dcad Tr #25
68824	525 Main St	A0923a Mep & Prr, Tr 80, 1.0 Acres, Old Dcad Tr #24a
68834	521 Main St	A0923a Mep & Prr, Tr 81, .7 Acres
68826	519 Main St	A0923a Mep & Prr, Tr 82, .63 Acres

68829	511 Main St	A0923a Mep & Prr, Tr 83, .61 Acres, Old Dcad Tr #24d
68839		A0923a Mep & Prr, Tr 84, .406 Acres, Old Dcad Tr #23
68837	101 Pecan St	A0923a Mep & Prr, Tr 85, .715 Acres, Old Dcad Tr #24